

**JAN
2004**

North Long Beach Community Planning Bulletin

www.longbeach.gov/plan/content/complan.htm



By: Scott Mangum (562) 570-6435
Scott_Mangum@longbeach.gov

DEPARTMENT OF PLANNING & BUILDING
Community & Environmental Planning Division
333 West Ocean Blvd. Long Beach, California 90802

Revised Jan 9.

NEW APPLICATIONS FILED

1. Modification of a Conditional Use Permit for Recycling Center with Attendant at 6845 Atlantic Ave (Case 0210-12) CC

This application is for an administrative action to modify a Conditional Use Permit (CUP) for a recycling center with attendant. The CUP was originally approved by the Planning Commission on January 16, 2003. The applicant is requesting modification to conditions #28 and #33. Condition #28 currently requires that, "Two uniformed staff attendants shall be present at the recycling collection center during all hours of operation. At least one of the attendants shall be a uniformed security guard." Additionally it states that, "Upon the request of the applicant and consent of the Chief of Police, the Director of Planning and Building is authorized to allow the security guard requirement to be eliminated." The applicant is requesting that only one attendant be required, and that this attendant not be required to be a security guard. The applicant is also requesting that condition #33 be modified so that the requirement for paving the entire site is removed.

PENDING CASES PREVIOUSLY REPORTED ON

2. Conditional Use Permit for Check Cashing within existing Market at 5575 Atlantic Ave (Case 0310-31) JR

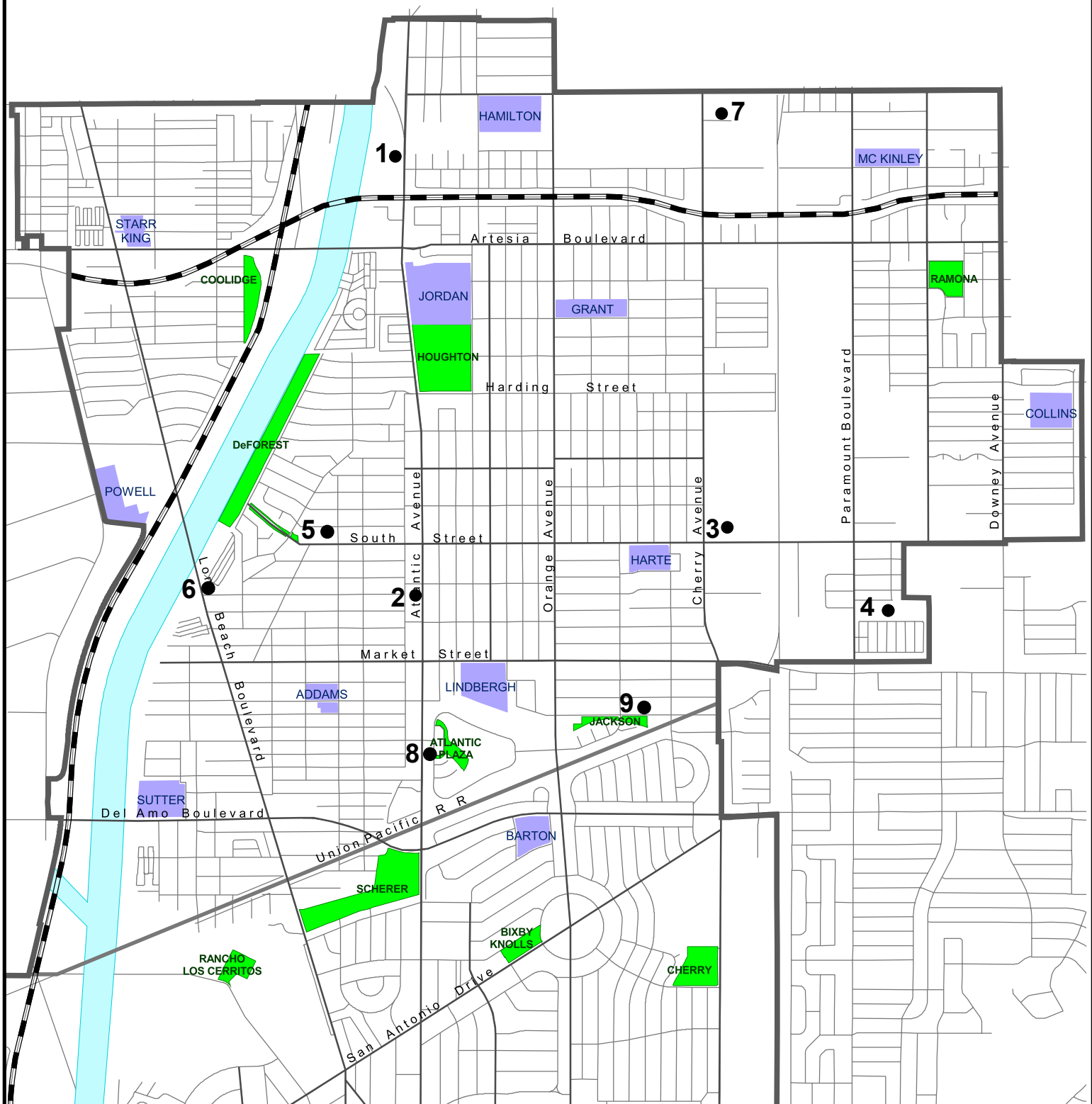
The applicant proposes to establish a Dolex money transfer booth within the Numero 2 Rancho Market. Planning staff is recommending approval with conditions. In addition to Police Department safety recommendations, staff is recommending that the check cashing facility should only be accessed internally from the market.

The Planning Commission **Public Hearing** is tentatively scheduled for **February 19, 2004**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Greg Carpenter, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

3. Conditional Use Permit for Check Cashing within existing Market at 2185 South St (Case 0311-18) JR

The applicant proposes to establish a full-service check cashing center within Food 4 Less. Planning staff is recommending approval with conditions. In addition to Police Department safety recommendations, staff is recommending that the check cashing facility should only be accessed internally from Food 4 Less.

North Long Beach - Site Location Map



 Schools
 Parks



1000 0 1000 2000 Feet

1. 6845 Atlantic Ave. - Modification to CUP ☐
2. 5575 Atlantic Ave. - CUP for Check Cashing (2/5 PC) ☐
3. 2185 South St. - CUP for Check Cashing (2/5 PC) ☐
4. 2910 E. 55th Way - SSPR, Variance, Zone Change, General Plan Amend, EIR for new ☐
Park (2/5 PC) ☐
5. 254 E. Hullett St. - SSPR for new Single Family Residence ☐
6. 5602 Long Beach Blvd - CUP for Alcohol Sales (12/18 PC) ☐
7. 2101 E. 69th St. - SSPR for 7,509 SF new Industrial Building ☐
8. 5150 Atlantic Ave. - Sign Standards Waiver and Sign Program ☐

The Planning Commission **Public Hearing** is scheduled for **January 15, 2004**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Greg Carpenter, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

4. Staff Site Plan Review, Standards Variance, Zone Change, General Plan Amendment, and Environmental Impact Report for Proposed Park at 2910 E. 55th Way (Case 3007-02) LF (see Attachment 5)

A new 5.8-acre park is proposed at 2910 E. 55th Way, just East of Paramount Boulevard. This park will serve as replacement parkland for the new police substation being built at Scherer Park. The site is currently zoned RM for mobile homes and manufactured housing. The General Plan designation is for Single Family Residential. The application is to rezone the property to Park (P) and amend the General Plan designation to Open Space/Parks (LUD 11). A Standards Variance is requested for number of parking spaces. 52 parking spaces are shown on site, while code requires a total of 73 spaces. Additional off-site parking is proposed on 55th Way. Final fence section drawings will determine whether a variance is required for fence height. The proposed Zone and General Plan Changes also must be heard by the City Council upon recommendation from the Planning Commission.

The Planning Commission **Public Hearing** is tentatively scheduled for **February 5, 2004**, at 1:30 P.M. in the City Council Chambers of City Hall. Written comments may be addressed to the Commission, in-care-of Greg Carpenter, Zoning Administrator, Department of Planning and Building, 333 W. Ocean Boulevard 7th Floor, Long Beach CA 90802.

ACTIONS ON COMPLETED CASES

5. Staff Site Plan Review for 2-story Single Family Residence at 254 E. Hullett Street (Case 0309-05) JV (see Attachment 4)

A new 1,405 SF two-story house with a two-car garage is proposed at 254 E Hullett Street. The 25' by 117' property is zoned R1-N (single-family residential). Staff Site Plan Review is required on lots less than 27 feet wide. Staff conditionally **approved** the application with the request that the building frontage be moved up to the 20' setback from Hullett Street.

6. Conditional Use Permit Application for Beer, Wine, and Distilled Spirit sales at 5602 Long Beach Blvd. (Case 0310-20) JV

The Conditional Use Permit Application would amend a previous Special Use Permit that allowed a commercial use in a mobile home district (RM). The 1,580 SF mini-market building, currently under construction, was approved through Staff Site Plan Review September 2002. The previous building had a Conditional Use Permit Exemption, which allowed it to sell alcohol, but those rights were lost upon demolition. The site is located in a high-crime reporting district. At its December 18, 2003 meeting the Planning Commission **approved** the CUP with conditions that limit the hours of operation from 7am-11pm, limit the amount of display area dedicated to alcohol sales, and prohibit the sale of single cans of alcohol.

7. Staff Site Plan Review for 7,509 SF new Industrial Building at 2101 E. 69th St. (Case 0311-14) CC (see Attachment 1)

The application to develop a currently vacant lot was conditionally **approved** at the December 1 Staff Site Plan Review Meeting. Comments were provided about redesigning the front entrance to the building, parking requirements, and uses shown on the site plan. Code allows a maximum of 25% of floor area as an accessory use to manufacturing. The proposed building initially was over this threshold and would have required a standards variance. The revised plan shows less than 25% office space, and thus meets parking requirements.

8. Sign Standards Waiver and Sign Program for Jack In The Box at 5150 Atlantic Ave. (Case 0311-03) CC (see Attachment 7)

The sign program is required for developments with five or more new signs. The sign standards waiver requested an additional, two instead of not more than one, menu sign. Both were **approved** at the December 1 Staff Site Plan Review meeting. As background, a Conditional Use Permit and vacation request for a new Jack-In-The-Box restaurant was approved by the Planning Commission on August 1, 2002.

9. Standards Variance to permit oversized Garage with attached bathing facility at 1659 E. Jackson St. (Case 0311-07) JM (see Attachment 8)

In 2001, a modification to a 1982 standards variance was approved to allow an oversized garage with a pool shower room inside and less than code required side yard setback. Because permits lapsed, the applicant is reapplying for approval. Staff recommended approval with similar conditions from the previous approval including that the bathing facility is only accessible from the exterior and that the property is deed restricted so that the structure shall not become living quarters in the future.

The Zoning Administrator **approved** the standards variance request with conditions on December 22, 2003.

ANNOUNCEMENTS

10. NLB Community Planning Bulletin Hits the Web

In an effort to make this document more timely and accessible, the North Long Beach Community Planning Bulletin is available on the internet at: <http://www.longbeach.gov/plan/content/complan.htm>. I have also developed an email list that will be used for notification when the new monthly bulletin is available online, or when a revision has been posted for viewing. If you would like to be added to the email list, please contact me with your email address. As this is a new endeavor, please let me know if you have any comments about how to make the bulletin more internet friendly.

11. Long Beach General Plan Update: Land Use and Mobility Plans. Next Meeting February 4 (6:30pm) at Houghton Park

The Department of Planning and Building's Advance Planning Division is undertaking a major planning policy program. Over the next 18 months the Advance Planning Division will be working with a team of land use and transportation

professionals and members of the Long Beach community to update the City's land use and transportation/mobility plans.

The City has been divided into 5 geographic community clusters and committees composed of community members for each cluster have been selected. The first Community Cluster meeting for North Long Beach was held on January 7. The second meeting will occur at 6:30pm on Wednesday, **February 4** at Houghton Park.

12. Long Beach RiverLink Meetings

Long Beach RiverLink www.longbeachriverlink.org is holding its next round of public meetings to receive input on the additions to the Vision Document that was crafted in Summer/Fall 2003. Long Beach RiverLink is a project of the San Pedro Bay Estuary Project, under the direction of the Long Beach Department of Parks, Recreation and Marine. Its goal is to create a vision for roughly 9 miles of parkland and open space along the East Bank of the Los Angeles River, from it's mouth to just North of the 91 Freeway.

This vision also presents street, pedestrian, public transportation and bicycle path connections throughout Long Beach to RiverLink Park. The vision is unique in that it has been driven by consensus of residents, environmental organizations, arts, business and tourism stakeholder groups, Los Angeles County and Long Beach City regulations with regard to land use. The City is actively seeking funding to acquire land and develop this project.

Two meetings are scheduled for **Saturday January 17th**. The first at **10am at Houghton Park** and the second at **1pm at Scherer Park**. A PowerPoint presentation will be made (approx. 20 min.), boards of the latest renderings will be displayed, surveys will be distributed to learn residents' opinions of the RiverLink Vision, and to gain further information about what they expect and want with regard to open space along the East Bank of the L.A. River, and connections within Long Beach to that space. Refreshments will be provided.

13. California ReLeaf Grant Funds up to \$7,500 to Plant Street Trees - Deadline February 3, 2004

The National Tree Trust and California ReLeaf announced that funding is available to community-based groups throughout California for urban forestry projects. Individual grants range from \$1,000 to \$7,500 for projects in one of three funding categories: **Tree Planting**; Tree Care; and Education, Outreach, and Volunteer Development. Nonprofit organizations, unincorporated community groups, and city-affiliated volunteer entities are eligible to apply. Neighborhood groups may partner with a non-profit fiscal agent. Applicants may submit only one proposal.

The application **deadline** is **February 3, 2004**, and award decisions will be announced March 23, 2004. Grant recipients will have until May 13, 2005 to complete their grant-funded projects. The grant guidelines and application forms are available online at www.nationaltreetrust.org/releaf.

For Tree Planting Projects in Long Beach: Neighborhood Resource Center can assist you with your grant proposal applications, please contact JoAnn Rojas at (562) 570-1010 for more information and to view sample proposals. Your planting

locations and tree species must be approved by the City of Long Beach. Submit a one-page project overview with the addresses of each of the proposed planting sites and the two forms included in the application package (Permission for Planting of Trees and Certification by Certified Arborist) to the Neighborhood Resource Center by **January 23, 2004**.

14.I-710 Freeway Long Term Congestion Relief Alternatives

The Oversight Policy Committee of the Gateway Cities Council of Governments voted to develop a hybrid plan combining elements of alternative C, D, and E while adhering to five guiding principles, including minimizing Right-of-Way takings. Initially, a special advisory committee was to choose one of 5 alternatives to relieve congestion on the 710 Freeway. Alternatives included widening the freeway, adding raised lanes, and a “no build” option that would only provide for more minor improvements. Of the 5 Alternatives presented, alternatives C, D, and E would involve taking private property. Information about the initial five alternatives and the I-710 Major Corridor study can be found at: <http://www.gatewaycog.org/i710.html>.

The Long Beach City Council I-710 Oversight Committee has been hosting a series of meetings and now will host four community roundtable workshops. The roundtable workshops will focus on providing additional information from leading experts on these critical issues. The workshops will allow residents to interact with key experts and ask questions about the issues they care most about in regards to the I-710 Freeway. In addition, each workshop should generate a list of recommendations for the Long Beach Oversight Committee to adopt as part of the planning process.

All four workshops will have a community moderator, as well as participation from community leaders/experts and will be held on four consecutive Thursday evenings in January and February 2004. The workshop schedule is as follows:

- A) Health and Environmental Concerns- Thurs, January 22, 6:30pm at Silverado Park
- B) Preserving Neighborhoods- Thurs., January 29, 6:30 pm at Houghton Park
- C) Port Operations and the I-710 Freeway- Thurs., February 4, 6:30pm at Silverado Park
- D) Truck Congestion and Safety- Thurs., February 12, 6:30pm at Houghton Park

Following these workshops and City Council discussion, the Council intends to select a Long Beach preferred plan for improvements to the I-710 in April.

IMPORTANT PHONE NUMBERS

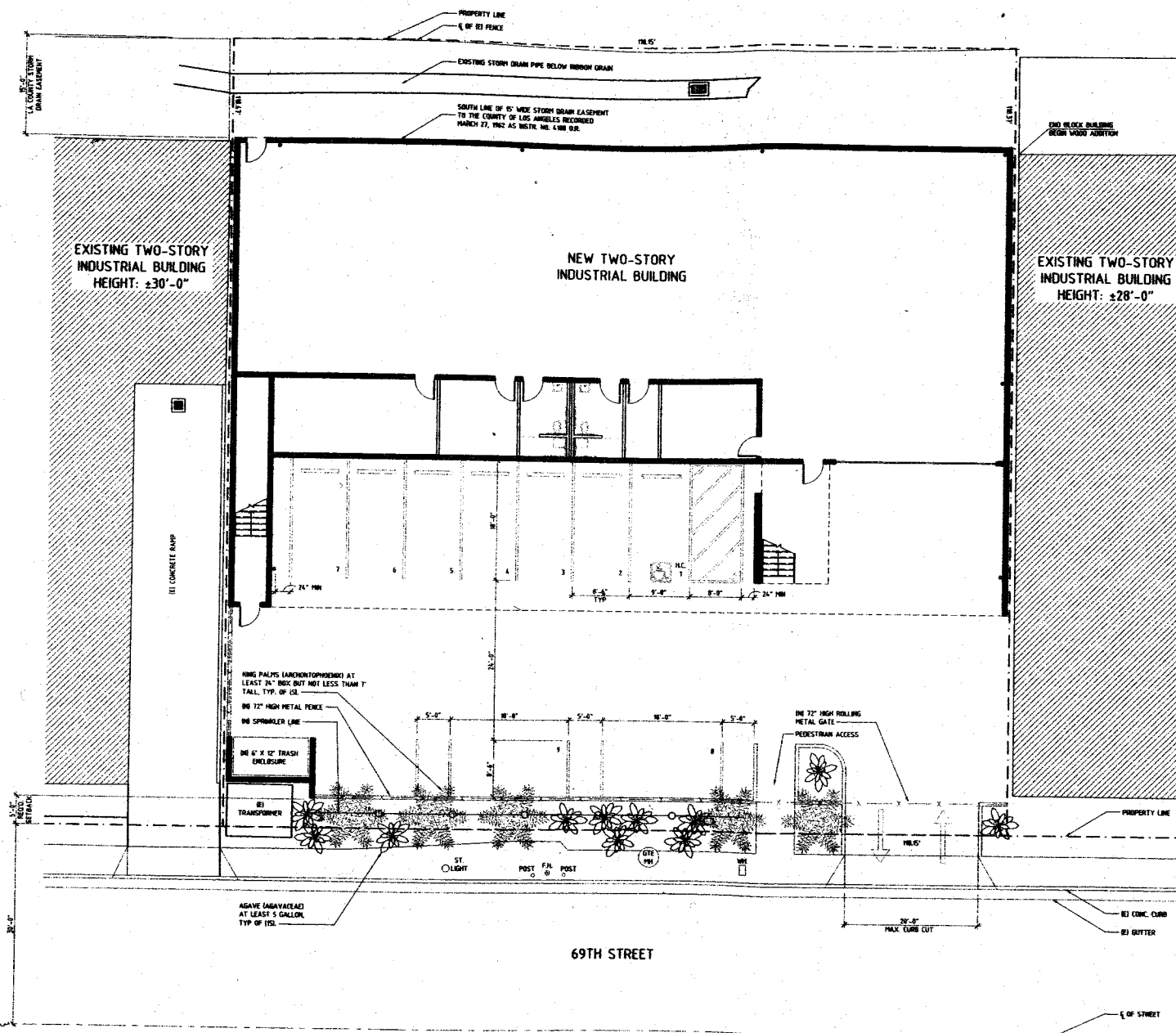
Council Member (8 th District), Rob Webb	(562) 570-6685
Council Member (9 th District), Val Lerch	(562) 570-6137
Police, toll free, anonymous, Gang Tip	1- (866) 426-4847
Police non-emergency calls	(562) 435-6711
Police narcotics tip	(562) 570-7125
Community Policing	(562) 570-5028
Animal Control Center	(562) 570-7387
Rats, Roaches, Vermin & Other – Environmental Health	(562) 570-4132
Pot Hole Patrol, reporting street pot holes	(562) 570-3259
Maintenance for City Traffic Signs	(562) 570-5264
Abandoned shopping carts removal	1-(800) 252-4613
Things on power lines, SCE Hazardous Conditions	1-(800) 611-1911 press 2, then 4
Property Maintenance Code Enforcement	(562) 570-6328
Zoning Code Enforcement	(562) 570-7497
Building Code Enforcement	(562) 570-6399
Zoning Information	(562) 570-6194
Building Permit information	(562) 570-6651
Noise Complaint, Environmental Health	(562) 570-5650
Unlicensed food vendors Business License	(562) 570-6211 ext. 7
Unlicensed food vendors Health & Human Services	(562) 570-4219
Damaged Sewer lines from street trees	(562) 570-3259
Graffiti hotline, on private property	(562) 570-2773
Graffiti in City Parks, Park Maintenance, Emy Arteaga	(562) 570-1533
Graffiti on County flood control channel, Matt Knabe	(562) 256-1921
Graffiti on Union Pacific Railroad property	(562) 590-4162
Graffiti on Caltrans property	(213) 897-3656
Special Refuse Pick-ups (Free twice a year for large items)	(562) 570-2876
Public Service	(562) 570-2700 listen to menu
Neighborhood Resource Center, Margaret Madden	(562) 570-1010

ATTACHMENT 1

osborn
osborn

320 EAST HARVARD STREET
GLENDALE, CA 91205
www.osborn320.com

818.248.3112 F
818.248.3067 F



AREA CALCULATIONS

LOT SIZE: 13,995 SF
LOT COVERAGE: 5,248 SF
BUILDING AREA: 5,248 SF (1ST FLOOR)
2,261 SF (2ND FLOOR)
7,509 SF (TOTAL)
AREA TO LOT SIZE RATIO: .54

PARKING REQUIREMENTS

PER LONG BEACH ZONING CODE TABLE 41-1C

USE	REQUIRED NUMBER OF SPACES ¹
OFFICE	4 PER 1,000 S.F.-GFA UP TO 20,000 S.F. ²
WAREHOUSE	1 PER 1,000 S.F.-GFA ³

¹ GFA = GROSS FLOOR AREA (EXCLUDES ELEVATOR CORES, STAIRWELLS, UTILITY ROOMS, RESTROOMS, AND UNOCCUPIED PORCHES). PER CONVERSATION WITH CITY OF LONG BEACH BUILDING OFFICIAL.
² OR 1 PER 250 S.F.-GFA UP TO 20,000 S.F.-GFA
³ OFFICE AREA GREATER THAN 25% IS CALCULATED SEPARATELY.

REQUIRED SPACES FOR WAREHOUSE

WAREHOUSE AREA + OFFICE AREA (UP TO 25% OF TOTAL WAREHOUSE AREA) = TOTAL WAREHOUSE AREA
4,729 S.F.-GFA + 1,576 S.F.-GFA = 6,305 S.F.-GFA
6,305 S.F.-GFA / 1,000 S.F. PER SPACE = 7 PARKING SPACES

REQUIRED SPACES FOR OFFICE

OFFICE AREA (OVER 25% OF TOTAL WAREHOUSE AREA)
464 S.F.-GFA / 250 S.F. PER SPACE = 2 PARKING SPACES

TOTAL REQUIRED SPACES: 9
TOTAL PROVIDED SPACES: 9 (1 VEH ACCESSIBLE)

SITE PLAN NOTES

SEE DRAWING A100 (SITE SURVEY) FOR EXISTING UTILITY LOCATION AND TOPOGRAPHIC INFORMATION.

PACIFICA
ELECTRICAL CONTRACTORS

2101 EAST 69TH ST, LONG BEACH CA 90805

ISSUE FOR SITE PLAN REVIEW 11.18.03

ISSUE FOR PERMIT

ISSUE FOR BID

ISSUE FOR CONSTRUCTION

REVISION

REVISION

REVISION

STRUCTURAL ENGINEER

WILLIAM K. KIM ASSOCIATES

2430 WILSHIRE BLVD, STE 2310

LOS ANGELES, CA 90010

e-mail: wkim@willk.com

MECHANICAL / PLUMBING ENGINEER

SAM Y. LEE ASSOCIATES

143 S. GLENDALE AVE, STE 205

GLENDALE, CA 91205

e-mail: sylee@slabglobal.net

SITE PLAN

SCALE: 1"=7'-0"

DATE: 10NOV03

JOB NO: A03014

A101

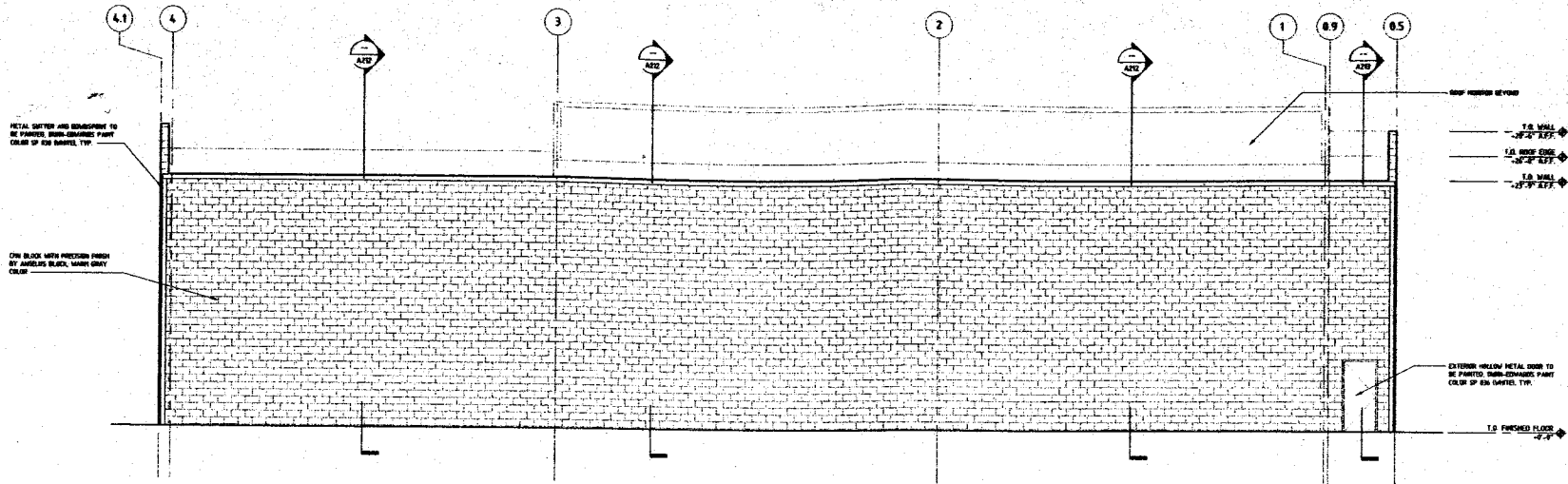
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ATTACH. 1 (Cont.)

osborn

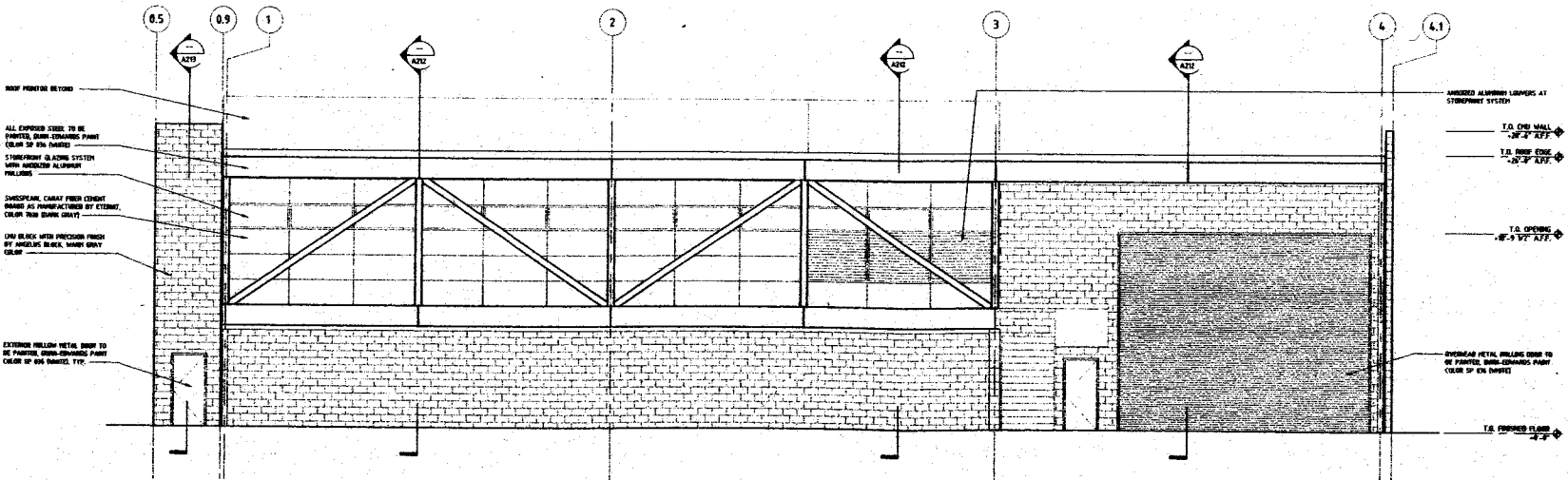
320 EAST HARVARD STREET
GLENDALE, CA 91205
www.osborn320.com

818.246.3112 T
818.246.3097 F



NORTH EXTERIOR ELEVATION

1/8" = 1'-0" 0' 1" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20" 21" 22" 23" 24" 25" 26" 27" 28" 29" 30" 31" 32" 33" 34" 35" 36" 37" 38" 39" 40" 41" 42" 43" 44" 45" 46" 47" 48" 49" 50" 51" 52" 53" 54" 55" 56" 57" 58" 59" 60" 61" 62" 63" 64" 65" 66" 67" 68" 69" 70" 71" 72" 73" 74" 75" 76" 77" 78" 79" 80" 81" 82" 83" 84" 85" 86" 87" 88" 89" 90" 91" 92" 93" 94" 95" 96" 97" 98" 99" 100" 101" 102" 103" 104" 105" 106" 107" 108" 109" 110" 111" 112" 113" 114" 115" 116" 117" 118" 119" 120" 121" 122" 123" 124" 125" 126" 127" 128" 129" 130" 131" 132" 133" 134" 135" 136" 137" 138" 139" 140" 141" 142" 143" 144" 145" 146" 147" 148" 149" 150" 151" 152" 153" 154" 155" 156" 157" 158" 159" 160" 161" 162" 163" 164" 165" 166" 167" 168" 169" 170" 171" 172" 173" 174" 175" 176" 177" 178" 179" 180" 181" 182" 183" 184" 185" 186" 187" 188" 189" 190" 191" 192" 193" 194" 195" 196" 197" 198" 199" 200" 201" 202" 203" 204" 205" 206" 207" 208" 209" 210" 211" 212" 213" 214" 215" 216" 217" 218" 219" 220" 221" 222" 223" 224" 225" 226" 227" 228" 229" 230" 231" 232" 233" 234" 235" 236" 237" 238" 239" 240" 241" 242" 243" 244" 245" 246" 247" 248" 249" 250" 251" 252" 253" 254" 255" 256" 257" 258" 259" 260" 261" 262" 263" 264" 265" 266" 267" 268" 269" 270" 271" 272" 273" 274" 275" 276" 277" 278" 279" 280" 281" 282" 283" 284" 285" 286" 287" 288" 289" 290" 291" 292" 293" 294" 295" 296" 297" 298" 299" 300" 301" 302" 303" 304" 305" 306" 307" 308" 309" 310" 311" 312" 313" 314" 315" 316" 317" 318" 319" 320" 321" 322" 323" 324" 325" 326" 327" 328" 329" 330" 331" 332" 333" 334" 335" 336" 337" 338" 339" 340" 341" 342" 343" 344" 345" 346" 347" 348" 349" 350" 351" 352" 353" 354" 355" 356" 357" 358" 359" 360" 361" 362" 363" 364" 365" 366" 367" 368" 369" 370" 371" 372" 373" 374" 375" 376" 377" 378" 379" 380" 381" 382" 383" 384" 385" 386" 387" 388" 389" 390" 391" 392" 393" 394" 395" 396" 397" 398" 399" 400" 401" 402" 403" 404" 405" 406" 407" 408" 409" 410" 411" 412" 413" 414" 415" 416" 417" 418" 419" 420" 421" 422" 423" 424" 425" 426" 427" 428" 429" 430" 431" 432" 433" 434" 435" 436" 437" 438" 439" 440" 441" 442" 443" 444" 445" 446" 447" 448" 449" 450" 451" 452" 453" 454" 455" 456" 457" 458" 459" 460" 461" 462" 463" 464" 465" 466" 467" 468" 469" 470" 471" 472" 473" 474" 475" 476" 477" 478" 479" 480" 481" 482" 483" 484" 485" 486" 487" 488" 489" 490" 491" 492" 493" 494" 495" 496" 497" 498" 499" 500" 501" 502" 503" 504" 505" 506" 507" 508" 509" 510" 511" 512" 513" 514" 515" 516" 517" 518" 519" 520" 521" 522" 523" 524" 525" 526" 527" 528" 529" 530" 531" 532" 533" 534" 535" 536" 537" 538" 539" 540" 541" 542" 543" 544" 545" 546" 547" 548" 549" 550" 551" 552" 553" 554" 555" 556" 557" 558" 559" 560" 561" 562" 563" 564" 565" 566" 567" 568" 569" 570" 571" 572" 573" 574" 575" 576" 577" 578" 579" 580" 581" 582" 583" 584" 585" 586" 587" 588" 589" 590" 591" 592" 593" 594" 595" 596" 597" 598" 599" 600" 601" 602" 603" 604" 605" 606" 607" 608" 609" 610" 611" 612" 613" 614" 615" 616" 617" 618" 619" 620" 621" 622" 623" 624" 625" 626" 627" 628" 629" 630" 631" 632" 633" 634" 635" 636" 637" 638" 639" 640" 641" 642" 643" 644" 645" 646" 647" 648" 649" 650" 651" 652" 653" 654" 655" 656" 657" 658" 659" 660" 661" 662" 663" 664" 665" 666" 667" 668" 669" 670" 671" 672" 673" 674" 675" 676" 677" 678" 679" 680" 681" 682" 683" 684" 685" 686" 687" 688" 689" 690" 691" 692" 693" 694" 695" 696" 697" 698" 699" 700" 701" 702" 703" 704" 705" 706" 707" 708" 709" 710" 711" 712" 713" 714" 715" 716" 717" 718" 719" 720" 721" 722" 723" 724" 725" 726" 727" 728" 729" 730" 731" 732" 733" 734" 735" 736" 737" 738" 739" 740" 741" 742" 743" 744" 745" 746" 747" 748" 749" 750" 751" 752" 753" 754" 755" 756" 757" 758" 759" 760" 761" 762" 763" 764" 765" 766" 767" 768" 769" 770" 771" 772" 773" 774" 775" 776" 777" 778" 779" 780" 781" 782" 783" 784" 785" 786" 787" 788" 789" 790" 791" 792" 793" 794" 795" 796" 797" 798" 799" 800" 801" 802" 803" 804" 805" 806" 807" 808" 809" 810" 811" 812" 813" 814" 815" 816" 817" 818" 819" 820" 821" 822" 823" 824" 825" 826" 827" 828" 829" 830" 831" 832" 833" 834" 835" 836" 837" 838" 839" 840" 841" 842" 843" 844" 845" 846" 847" 848" 849" 850" 851" 852" 853" 854" 855" 856" 857" 858" 859" 860" 861" 862" 863" 864" 865" 866" 867" 868" 869" 870" 871" 872" 873" 874" 875" 876" 877" 878" 879" 880" 881" 882" 883" 884" 885" 886" 887" 888" 889" 890" 891" 892" 893" 894" 895" 896" 897" 898" 899" 900" 901" 902" 903" 904" 905" 906" 907" 908" 909" 910" 911" 912" 913" 914" 915" 916" 917" 918" 919" 920" 921" 922" 923" 924" 925" 926" 927" 928" 929" 930" 931" 932" 933" 934" 935" 936" 937" 938" 939" 940" 941" 942" 943" 944" 945" 946" 947" 948" 949" 950" 951" 952" 953" 954" 955" 956" 957" 958" 959" 960" 961" 962" 963" 964" 965" 966" 967" 968" 969" 970" 971" 972" 973" 974" 975" 976" 977" 978" 979" 980" 981" 982" 983" 984" 985" 986" 987" 988" 989" 990" 991" 992" 993" 994" 995" 996" 997" 998" 999" 1000



SOUTH EXTERIOR ELEVATION

1/8" = 1'-0" 0' 1" 2" 3" 4" 5" 6" 7" 8" 9" 10" 11" 12" 13" 14" 15" 16" 17" 18" 19" 20" 21" 22" 23" 24" 25" 26" 27" 28" 29" 30" 31" 32" 33" 34" 35" 36" 37" 38" 39" 40" 41" 42" 43" 44" 45" 46" 47" 48" 49" 50" 51" 52" 53" 54" 55" 56" 57" 58" 59" 60" 61" 62" 63" 64" 65" 66" 67" 68" 69" 70" 71" 72" 73" 74" 75" 76" 77" 78" 79" 80" 81" 82" 83" 84" 85" 86" 87" 88" 89" 90" 91" 92" 93" 94" 95" 96" 97" 98" 99" 100

PACIFICA
ELECTRICAL CONTRACTORS

2101 EAST 69TH ST, LONG BEACH CA 90805

ISSUE FOR SITE PLAN REVIEW 11.18.03

ISSUE FOR PERMIT

ISSUE FOR BID

ISSUE FOR CONSTRUCTION

REVISION

REVISION

REVISION

STRUCTURAL ENGINEER

WILLIAM K. KIM ASSOCIATES
3435 WILSHIRE BLVD, STE 2300
LOS ANGELES, CA 90010
e-mail: WkKim@aol.com

MECHANICAL / PLUMBING ENGINEER

SUNG Y. LEE ASSOCIATES
143 S. GLENDALE AVE, STE 205
GLENDALE, CA 91205
e-mail: sylee@pacglobal.net

EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

DATE: 10NOV03

JOB NO: A0304

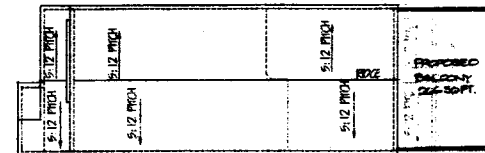
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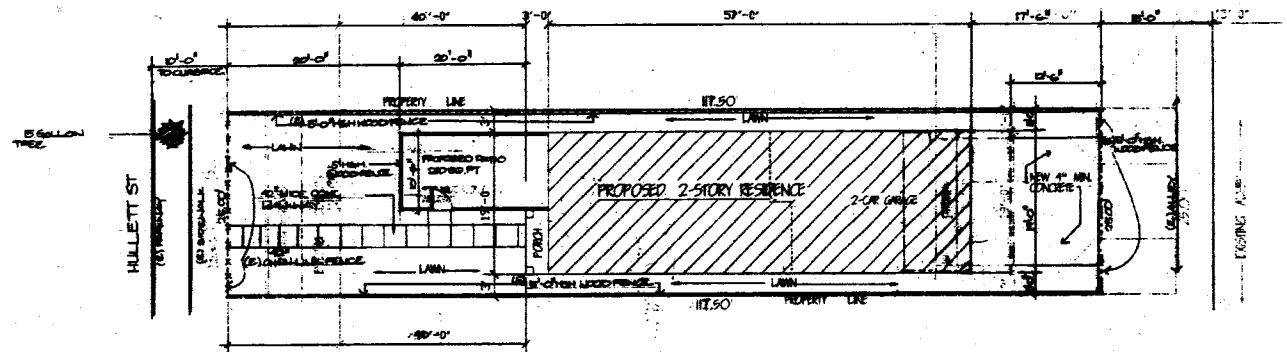
ATTACHMENT 4

LEGAL DESCRIPTION	PROJECT DATA	SHEET INDEX	
		SHEET NO.	DESCRIPTION
LOT 20, BLOCK 4 MAP 50-1-10-00 MAP 50-1-10-20 A.P.N. 4-705-080-02	PROPOSED 2-STORY RESIDENCE FLOOR AREA: 1ST FLOOR 500 SF. 2ND FLOOR 87 SF. TOTAL 587 SF. PARKING: 2-CR GARAGE 391.3 SF. COVERAGE AREA: RESIDENCE 600 SF. GARAGE 391.3 SF. TOTAL 991.3 SF. CONSTRUCTION: TYP. VIN CONSTRUCTION RS-10 OCCUPANCY STUCCO EXT. FINISH COMPO. SHINGLES BUILDING HEIGHT	1	PLOT PLAN & ROOF PLAN
		2	FLOOR PLANS
		3	ELEVATIONS
		4	FRAMING PLAN, FOUNDATION PLAN
		5	DETAILS
		6	GENERAL NOTES
		7	
		8	

OPEN SPACE REMOVED
 PROPOSED GARAGE 391.3 FT.
 PROPOSED PATIO 210.0 FT.
 TOTAL 601.3 FT.



ROOF PLAN SCALE 1/8"=1'-0"



PLOT PLAN

SCALE 1/8"=1'-0"

NORTH

WILLIAM FLORES ARCHITECTURAL
 DRAFTING & DESIGN

2833 W. 1/2 ST. HUNTINGTON PARK CA 90055
 (323) 885-7833 FAX
 (562) 949-0885 MESSAGE

NO.	DATE	REVISION

PROJECT: PROPOSED 2-STORY RESIDENCE
 CLIENT: JOSEPH VILLALBA
 JOB ADDRESS: 254 E HULLETT ST.
 LONG BEACH CA 90805

TITLE

REVISIONS

CHECKED

JOB NO.

DRAWN

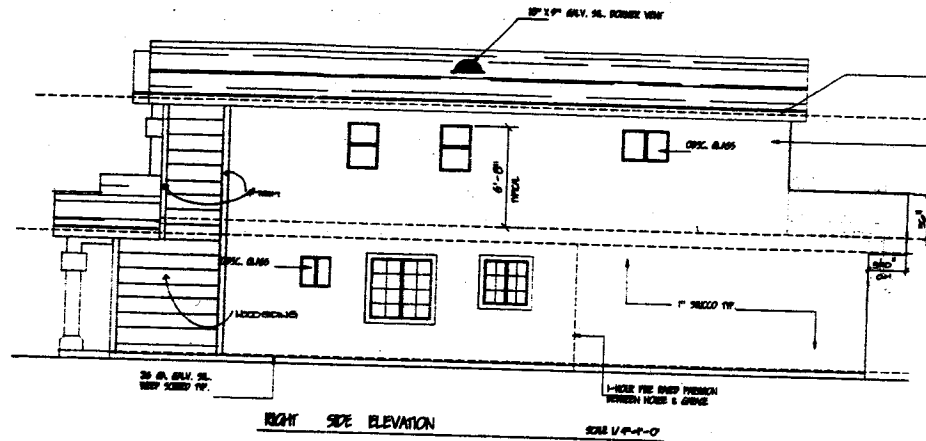
DATE 5-20-09

SHEET

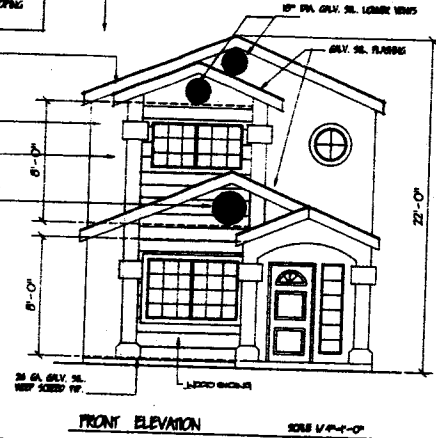
OF

SHEETS

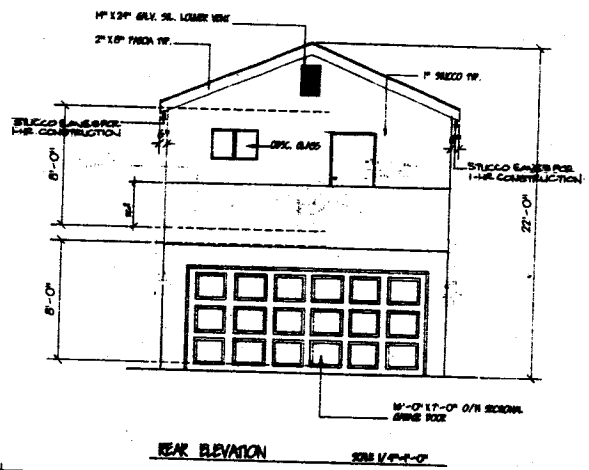
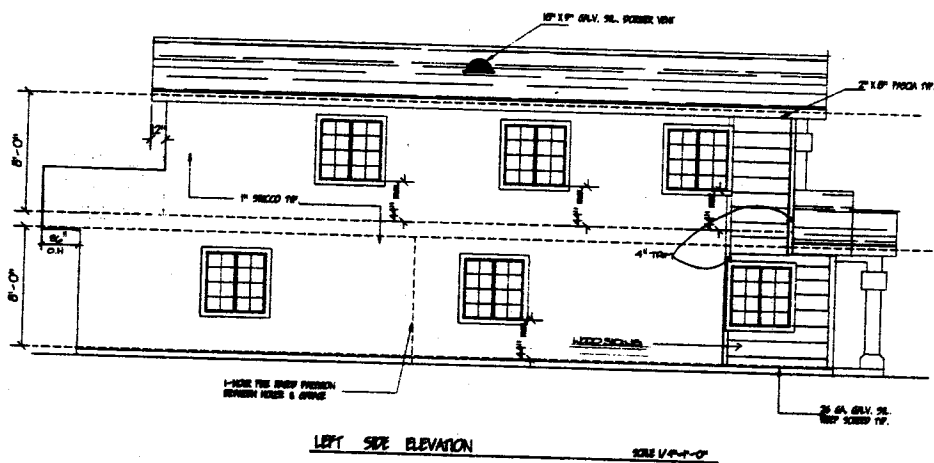
ATTACH. 4 (Cont.)



ROOFING:
CLAS 1/4" DE 1/4" COMPO-
SITION SHAPES OVER 2-LAYER
15 MIL LITE G.V. ROOFING
FELS (SEE REVISIONS)

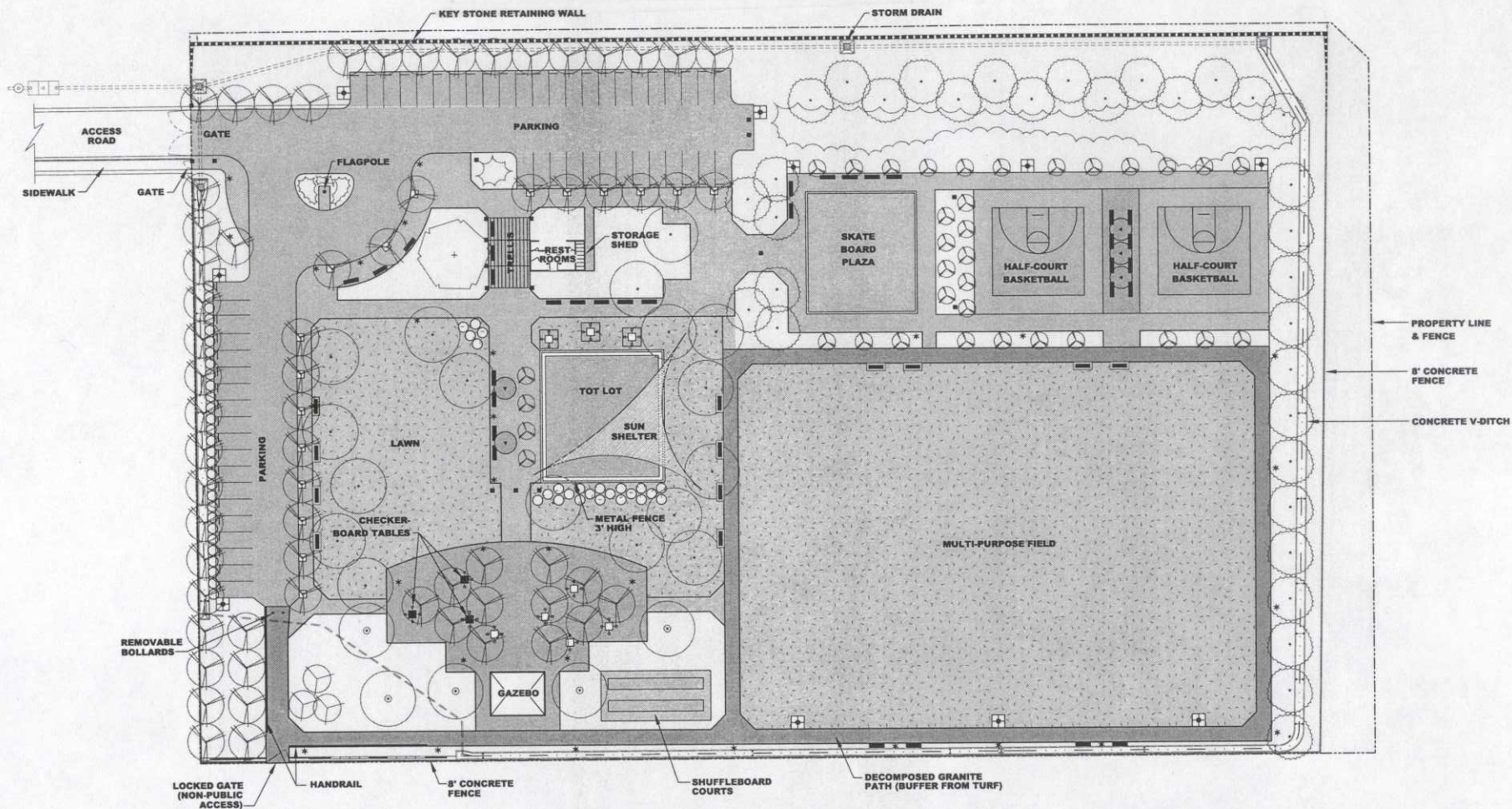


NOTE:
PROVIDE 4" MIN. SL. MIN.
GRADE FRESH FLOOR FOR
EMERGENCY EXIT ON ALL
REARION WINDOWS.



ATTIC VENTILATION	
ATTIC AREA: 517	
72"x14" CORRUGATED	5.4
61"x18" CORRUGATED	5.7
10"x24" CORRUGATED	1.9
10"x24" CORRUGATED	1.1
	6.7
6.7 > 5.4	

WILLIAM FLORES ARCHITECTURAL DRAFTING & DESIGN 2913 1/2 CALIFORNIA ST. HARRINGTON PARK CA 90228 (310) 781-1111 FAX (310) 781-1112 (310) 781-1113 FAX (310) 781-1114	
PROJECT:	CLIENT:
JOB NO.	JOB ADDRESS:
TITLE	
REVISIONS	
CHECKED	
JOB NO.	
DRAWN	
DATE	
OR	3
SHEETS	



55th Way Park - Draft Site Plan

City of Long Beach

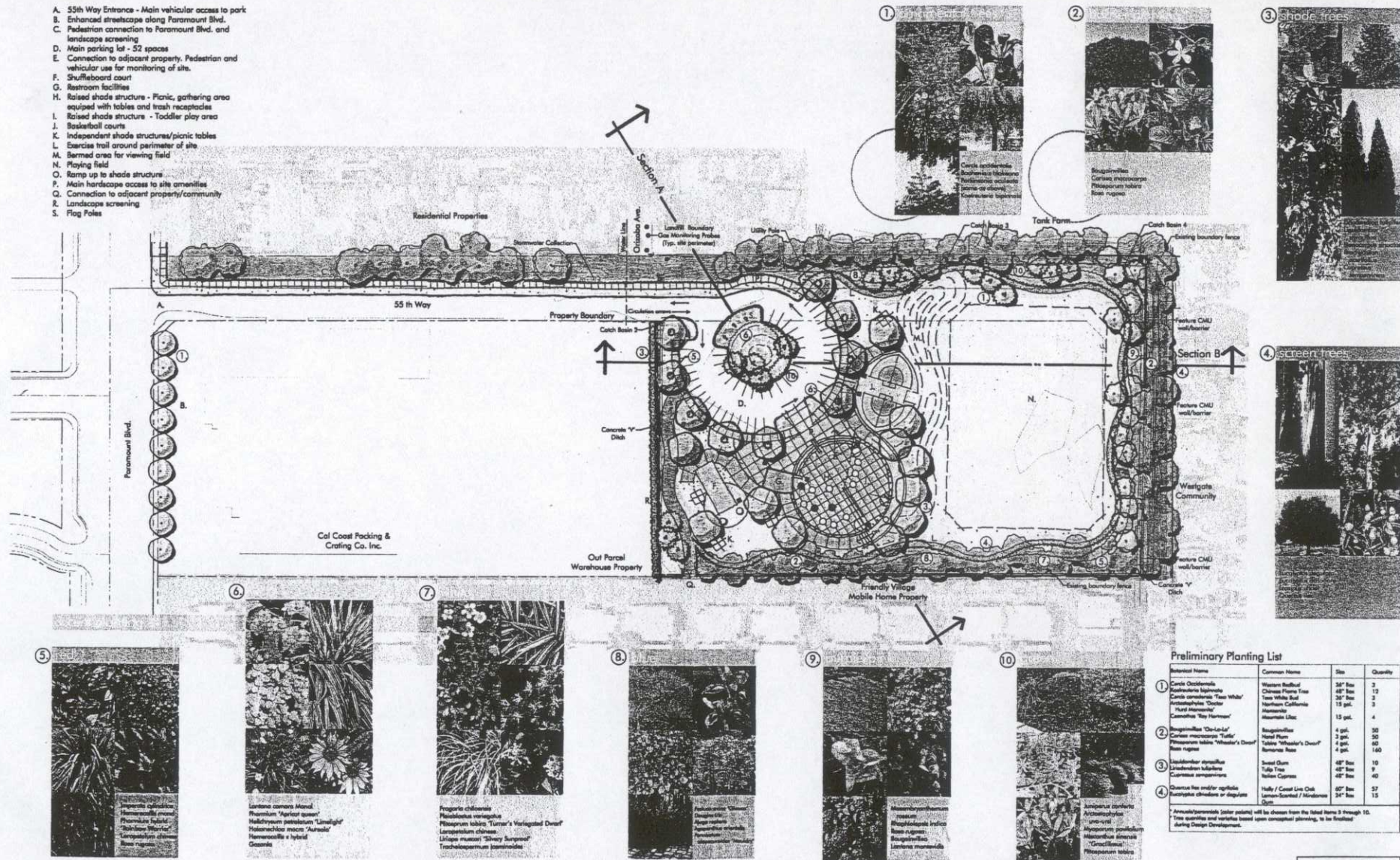


LEGEND:

CONCRETE WALK	SPECIAL PAVEMENT	TABLE & SEATS	BOLLARD WITH LIGHT
DECOMPOSED GRANITE	NON PERMEABLE TOT LOT LAYER	HANDICAP ACCESSIBLE TABLE	PILLAR
TURF AREA	KEY STONE RETAINING WALL	CHECKERBOARD TABLE	CONCRETE V-DITCH
DROUGHT RESISTANT VEGETATION	PROPERTY LINE	BENCH	TREE
AC PAVEMENT	SUN SHELTER	OVERHEAD LIGHT	SHRUB / GROUNDCOVER

LEGEND

- A. 55th Way Entrance - Main vehicular access to park
- B. Enhanced streetscape along Paramount Blvd.
- C. Pedestrian connection to Paramount Blvd. and landscape screening
- D. Main parking lot - 52 spaces
- E. Connection to adjacent property. Pedestrian and vehicular use for monitoring of site.
- F. Shuffleboard court
- G. Restroom facilities
- H. Raised shade structure - Picnic, gathering area equipped with tables and trash receptacles
- I. Raised shade structure - Toddler play area
- J. Basketball courts
- K. Independent shade structures/picnic tables
- L. Exercise trail around perimeter of site
- M. Barred area for viewing field
- N. Playing field
- O. Ramp up to shade structure
- P. Main hardscape access to site amenities
- Q. Connection to adjacent property/community
- R. Landscape screening
- S. Flag Poles



Preliminary Planting List

Selected Name	Common Name	Size	Quantity
1. <i>Cercis canadensis</i>	Eastern Redbud	24" Box	3
2. <i>Salix babingtonii</i>	Chinese Pines Tree	48" Box	13
3. <i>Cercis canadensis</i> 'Fast White'	Fast White Redbud	36" Box	2
4. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
5. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
6. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
7. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
8. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
9. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2
10. <i>Amelanchier</i> 'Winter Interest'	Winter Interest	18 gal.	2

* Annuals/perennials (other plants) will be chosen from the listed items 3 through 10.
 * Tree quantities and varieties based on conceptual planning, to be finalized during Design Development.

Schematic Design - Masterplan

55th Way Park

City of Long Beach

November 2003

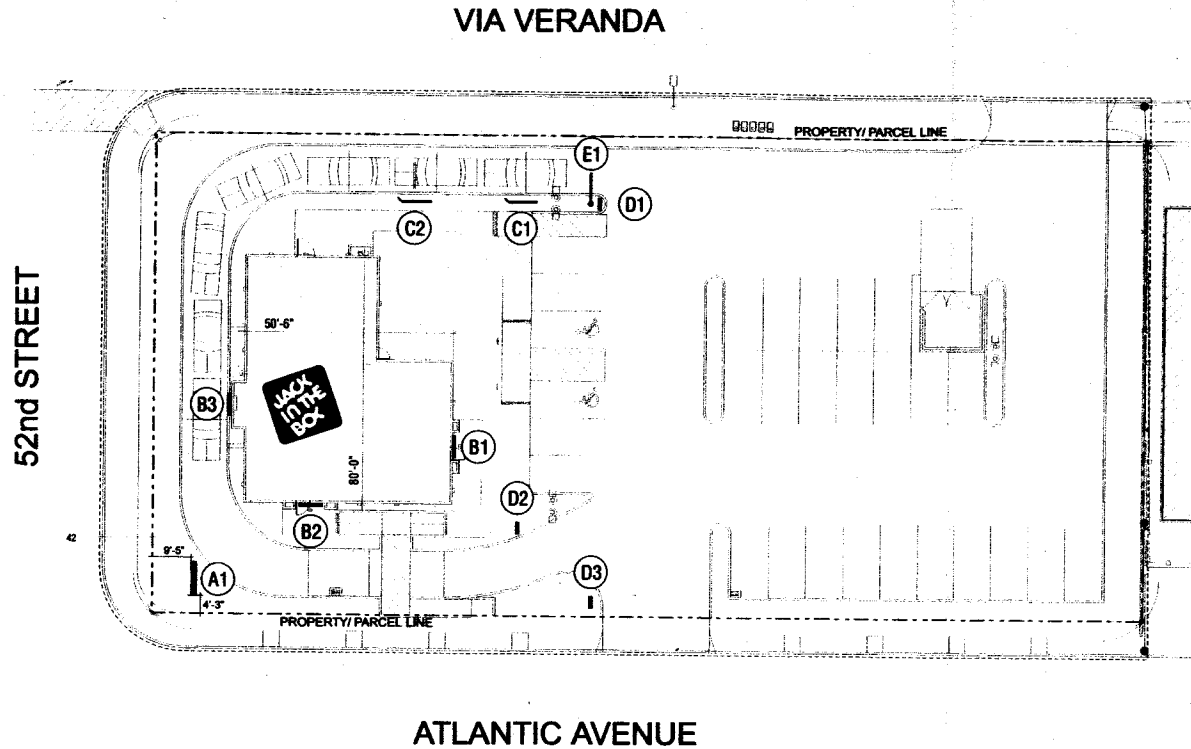


Scale 1" = 40'-0"

0 20 40 80

The plan is for informational purposes only and is not intended to be used for construction. It is the responsibility of the user to verify all information and to obtain all necessary permits and approvals from the appropriate authorities. The City of Long Beach and the City of Long Beach are not responsible for any errors or omissions in this plan.

ATTACHMENT 7



KEY

- (A1) D/F INTERNALLY ILLUMINATED POLE SIGN. 8'-0" X 8'-0" CABINET W/ 3'-0" X 8'-0" RB @ 25'-0" OVERALL HEIGHT.
- (B1) S/F INTERNALLY ILLUMINATED WALL SIGN. 5'-0" X 5'-0" CABINET ("JACK IN THE BOX").
- (B2) S/F INTERNALLY ILLUMINATED WALL SIGN. 5'-0" X 5'-0" CABINET ("JACK IN THE BOX").
- (B3) S/F INTERNALLY ILLUMINATED WALL SIGN. 5'-0" X 5'-0" CABINET ("JACK IN THE BOX").
- (C1) S/F INTERNALLY ILLUMINATED PREVIEW BOARD. 4'-0" X 8'-0" CABINET @ 5'-8" OVERALL HEIGHT.
- (C2) S/F INTERNALLY ILLUMINATED SPEAKER STATION. 4'-0" X 8'-0" CABINET @ 5'-8" OVERALL HEIGHT.
- (D1) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN. 1'-8" X 1'-8" CABINET @ 4'-0" O.A.H.T. ("DRIVE-THRU").
- (D2) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN. 1'-8" X 1'-8" CABINET @ 4'-0" O.A.H.T. ("THANK YOU/DO NOT ENTER").
- (D3) D/F INTERNALLY ILLUMINATED DIRECTIONAL SIGN. 1'-8" X 3'-2" CABINET @ 4'-0" O.A.H.T. ("ENTER").
- (E1) S/F NON-ILLUMINATED HEIGHT DETECTOR. (SIGN PERMIT NOT REQUIRED).



SITE PLAN

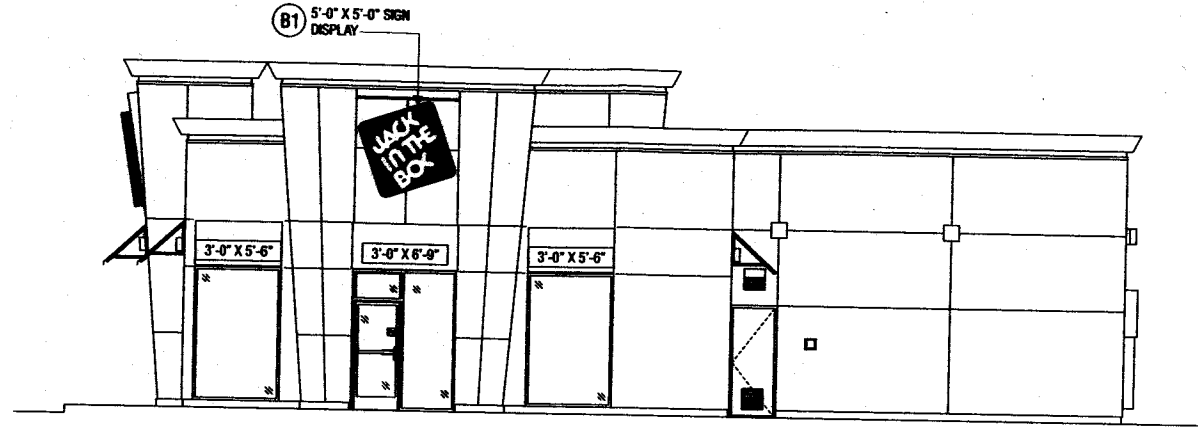
SCALE: 1" = 30'-0"

PROJECT	JACK IN THE BOX #3587	DATE	03-299	1 of 8
LOCATION	ATLANTIC AVE., LONG BEACH, CA	DATE	00000	NOTED
DESIGNER	TAMAR McCARTER	DATE	10-2-03	
APPROVAL	ANDY WRIGHT	DATE		

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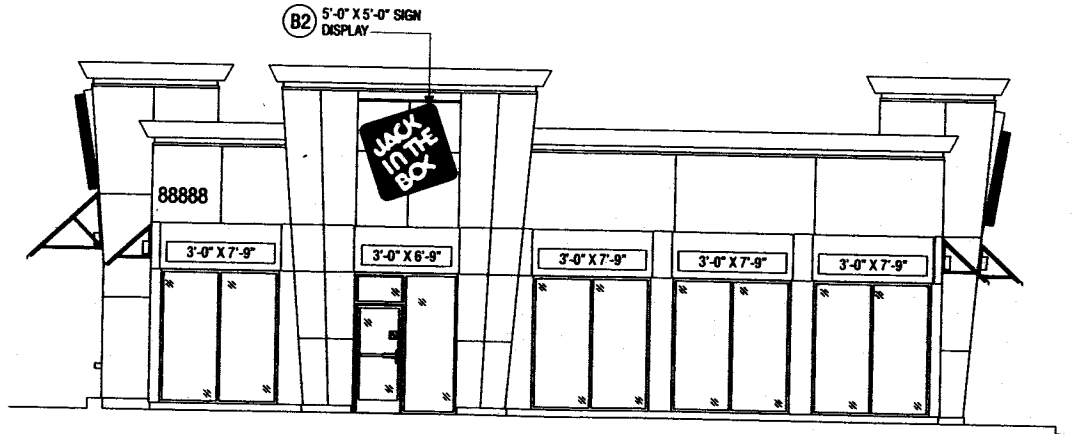
CNP
 CALIFORNIA NEON PRODUCTS
 4330 Mission College Place San Diego, CA 92128
 Telephone: (619) 281-1171 Fax: (619) 281-5550

ATTACH. 7 (Cont.)



RIGHT/ SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



FRONT/ WEST ELEVATION

SCALE: 1/8" = 1'-0"

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CNP
CALIFORNIA NEON PRODUCTS
4550 Mission Gorge Place San Diego, CA 92126
Telephone: (619) 283-2191 Fax: (619) 283-5983

PROJECT
JACK IN THE BOX #3507
LOCATION
ATLANTIC AVE., LONG BEACH, CA
ARCH. FIRM
TAMAR MCCARTER
DESIGNER
ANDY WRIGHT

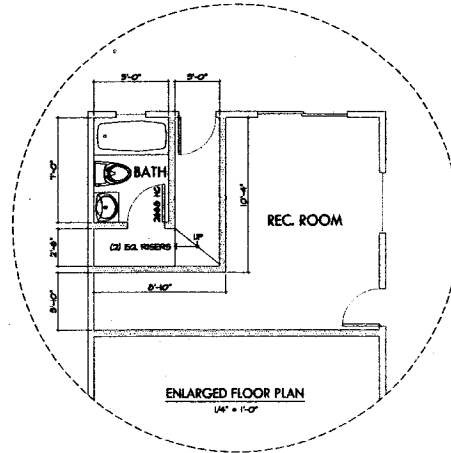
DATE
03-2009
DATE
10-2-03

NO.
3 of 8
NOTED

ATTACHMENT 8

GENERAL NOTES

- IT SHALL BE ASSUMED THAT ALL CONTRACTORS ARE EXPERIENCED AND THOROUGHLY KNOWLEDGEABLE IN THEIR RESPECTIVE AREAS OF THE CONSTRUCTION INDUSTRY AND SHALL PERFORM IN A RESPONSIBLE MANNER IN AN EFFICIENT, SAFE, CONSTRUCTION, RECOGNIZING THE PROPERTY OF THE DRAWINGS AND DETAILS AND SHALL INFORM THE DESIGNER IN WRITING OF ANY POTENTIAL PROBLEMS WHEN THE DRAWINGS ARE INCOMPLETE OR INCONSISTENT PRIOR TO THE PERFORMANCE OF THE WORK.
- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, AS WELL AS THE CBC, CBCA AND THE CBC, EXCEPT AS AMENDED AND MODIFIED IN THE LONG BEACH MUNICIPAL CODE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE WORK AREA AND MATERIALS FROM THEFT, VANDALISM AND OTHER LOSSES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING FROM PAINT ALL SURFACES NOT TO RECEIVE PAINT. THESE SURFACES SHALL INCLUDE BUT ARE NOT LIMITED TO FLOORS, DOOR HARDWARE, OUTLETS, SWITCHES, FRAMES AND GLASS. THE CONTRACTOR SHALL CLEAN OR REPLACE AT OWN EXPENSE ANY SURFACE DAMAGED OR DAMAGED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS CLEANING, SHEETING AND HANGING OF FLOORS, PATCHING AND PAINT TOUCH-UP, DEMOLITION, AND ANY OTHER WORK REQUIRED TO LEAVE THE SITE READY FOR OCCUPANCY, INCLUDING WORK PERFORMED UNDER SEPARATE CONTRACTS.
- INSTALLED WORK THAT IS SUBJECT TO DAMAGE BECAUSE OF OPERATIONS ADJACENT THERETO SHALL BE COVERED, BOARDED UP, AND OTHERWISE SUBSTANTIALLY PROTECTED.
- THE GENERAL CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE CODES, REGULATIONS, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.
- MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION AND SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR WITHIN A REASONABLE TIME TO ALLOW FOR SELECTION, PURCHASE AND DELIVERY SO AS TO PREVENT DELAY IN THE JOB SCHEDULE.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE STARTING ANY WORK.
- ALL CONSTRUCTION WASTE AND DEBRIS MUST BE KEPT IN AN ENCLOSED CONTAINER.
- DO NOT SCALE THE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DIRT AND DAMAGE.



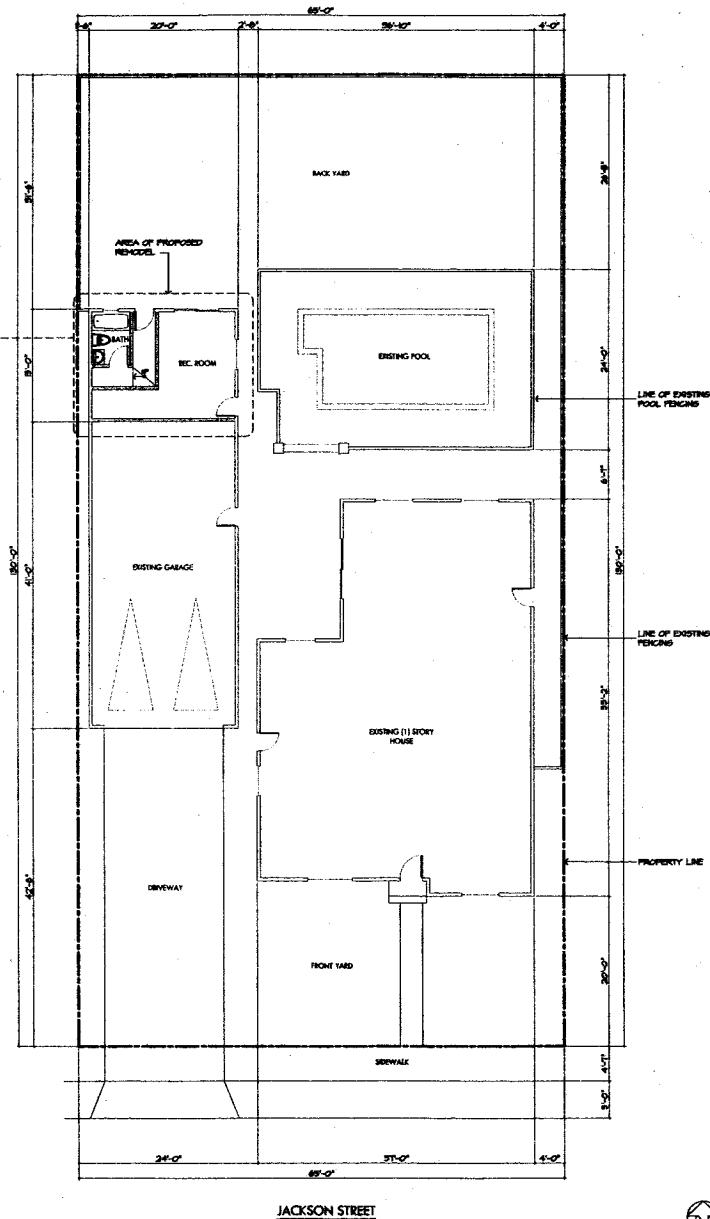
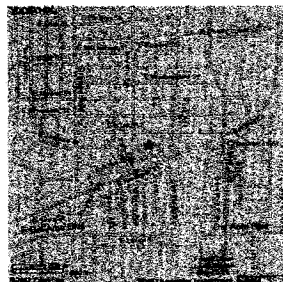
NOTE

- UNLESS NOTED OTHERWISE, ALL WINDOWS AND DOORS ARE EXISTING AND ARE TO REMAIN.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE EXISTING AND ARE TO REMAIN.

WALL LEGEND

---	EXISTING 2 X 4 HALL
---	2 X 4 HALL TO BE REMOVED
---	NEW 2 X 4 HALL

VICINITY MAP



JACKSON STREET



EXISTING SITE / PROPOSED PLAN

1/8" = 1'-0" 1

NAJAR RESIDENCE
1659 E. JACKSON
LONG BEACH, CALIFORNIA

REVISIONS

DATE	DATE

SHEET TITLE

SITE & FLOOR PLANS

SHEET NUMBER

A-1.1

DATE	DATE

SCALE: AS NOTED

THIS SHEET IS A PART OF A SET OF DRAWINGS FOR THE PROJECT DESCRIBED ON THE COVER SHEET. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER SHEETS OF THE SET. NO PART OF THIS SHEET IS TO BE USED SEPARATELY FROM THE SET.

ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, AS WELL AS THE CBC, CBCA AND THE CBC, EXCEPT AS AMENDED AND MODIFIED IN THE LONG BEACH MUNICIPAL CODE.

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ALL DIMENSIONS ARE TO FINISH FACE OF WALL, UNLESS OTHERWISE NOTED.

BUILDING DATA

OCCUPANCY R-3, U-1
TYPE OF CONSTRUCTION TYPE V-11
LOT SIZE = 8,490 SQ. FT.
EXISTING BUILDING AREA = 1,712 SQ. FT. (OVERLY)
LOT COVERAGE = 50% MAX. (20% ACTUAL)
ZONING = LB RM
UNITS PER LOT = 1
MINIMUM SETBACKS
FRONT = 30'
SIDE = 4'
REAR = 12' (1 STORY)
MINIMUM ROOF HEIGHT = 20'

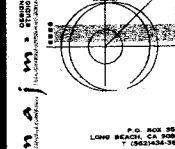
SHEET INDEX

A-1 GENERAL NOTES, EXISTING / FLOOR PLAN, AND FLOOR PLAN

PROJECT TEAM

OWNER
JOSE NAJAR
1659 E. JACKSON ST.
LONG BEACH, CA 90805
(562) 422-8144

DESIGNER
GARY F. NAJAR, OWNER
NAJAR DESIGN STUDIO
P.O. BOX 18849
LONG BEACH, CA 90805
(562) 424-3871 (T)
(562) 424-3481 (F)



P.O. BOX 18849
LONG BEACH, CA 90805
T: (562) 424-3871
F: (562) 424-3481